

- 1 Const. 24" Curb & Gutter
- 2 Const. Asphalt Paving
- 3 Const. Conc. Sidewalk
- 4 Const. Thickened Edge Sidewalk
- 5 Const. Accessible Striping per MUTCD & ICC/ANSI A117.1 (Latest Edition)  
(See Accessible Details and Notes)
- 6 Const. Accessible Ramp per ICC/ANSI A117.1 (Latest Edition) (See Grading Detail Sheets)
- 7 Const. Accessible Sign per MUTCD & ICC/ANSI A117.1 (Latest Edition)  
(See Accessible Details and Notes)
- 8 Const. Accessible VAN Sign per MUTCD & ICC/ANSI A117.1 (Latest Edition)  
(See Accessible Details and Notes)
- 9 Const. 4" White Paint Stripe (Typ.) Contractor shall provide 15 mils min. thickness
- 10 Const. Conc. Paving
- 11 Const. Stamp Pattern Conc. Paving (Per Arch. Plans)
- 12 Sawcut; Provide Smooth Clean Edge
- 13 Dumpster Enclosure (See Arch. Plans)
- 14 Const. Directional Arrows per MUTCD
- 15 Const. 24" White Stop Bar
- 16 Const. Conc Wheel Stop
- 17 Const. Stop Sign per MUTCD R1-1
- 18 Conn. & Match Existing Improvements
- 19 Const. Landscaping Area (Coordinate w/ Landscape Plan)

Site Area = 76,891 s.f. (1.76 ac.)  
Landscape Area Provided = 5,521 s.f.  
Impervious Area Provided = 11,327 s.f.  
Building Area = 59,059 s.f.

1. *All dimensions are to back of curb unless otherwise noted.*
2. *Fire lane markings and signs to be installed as directed by the Fire Marshal.*
3. *Aisle markings, directional arrows and stop bars will be painted at each driveway as shown on the plans.*
4. *Const. curb transition at all points where curb abuts sidewalk, see detail.*
5. *Contractor shall place asphalt paving in the direction of vehicle travel where possible.*
6. *Limits of demolition/disturbed areas shown on the plans may not be an exact depiction. It is the contractor's responsibility to determine the means and methods of how the work will be completed. The contractor shall determine the area of construction impact. The contractor is responsible to restore all impacted areas and all restoration shall be part of the contract.*

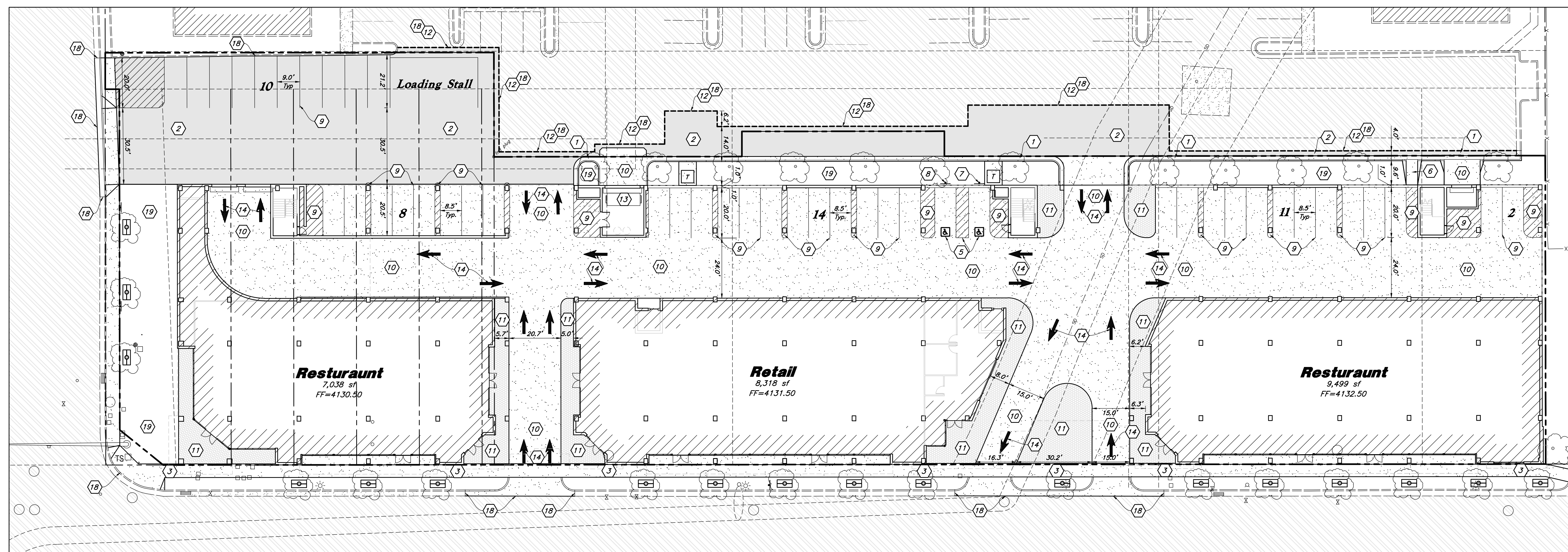
*The Construction Survey Layout for this project will be provided by Anderson Wahlen & Associates. The Layout Proposal and Professional Services Agreement will be provided to the General Contractor(s) for inclusion in base bids. The Survey Layout proposal has been broken out into Building Costs and Site Costs for use in the Site Work Bid Form.*

*Survey Control Note:*

The contractor or surveyor shall be responsible for following the National Society of Professional Surveyors (NSPS) model standards for any surveying or construction layout to be performed on the project. The contractor or surveyor shall be responsible for obtaining all necessary permits and approvals from the city or other relevant authority. The contractor or surveyor shall be responsible for obtaining all necessary approvals from the survey monuments and for verifying any additional control points shown on an ALTA survey, improvement plan, or on electronic data provided by the City of Whittier and the City of Gardena. The contractor shall also use the benchmarks as shown on the plan, and verify them against no less than three existing hard improvement elevations included on these plans. The contractor shall be responsible for notifying the City of Whittier and the City of Gardena of any discrepancies are encountered; the surveyor shall immediately notify the engineer and resolve the discrepancy before the construction of the project or construction staking.

## PRIVATE ENGINEER'S NOTICE TO CONTRACTORS

*The Contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of this project, including safety of all persons and property; that this requirement shall apply continuously and not be limited to normal working hours; and that the contractor shall defend, indemnify, and hold the owner and the engineer harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting for liability arising from the sole negligence of the owner or the engineer.*



Designed by: CA
Drafted by: NE
Client Name: Coachman
21-154SE

**ANDERSON WAHLEN & ASSOCIATES**  
2010 North Redwood Road, Salt Lake City, Utah 84116  
(801) 531-8539 [www.anderson-wahlen.com](http://www.anderson-wahlen.com)

**Site Plan**

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**Coachman Mixed Use**

1301 South State Street  
Salt Lake City, UT

11 Aug. 2021

SHEET NO.

## C1.1



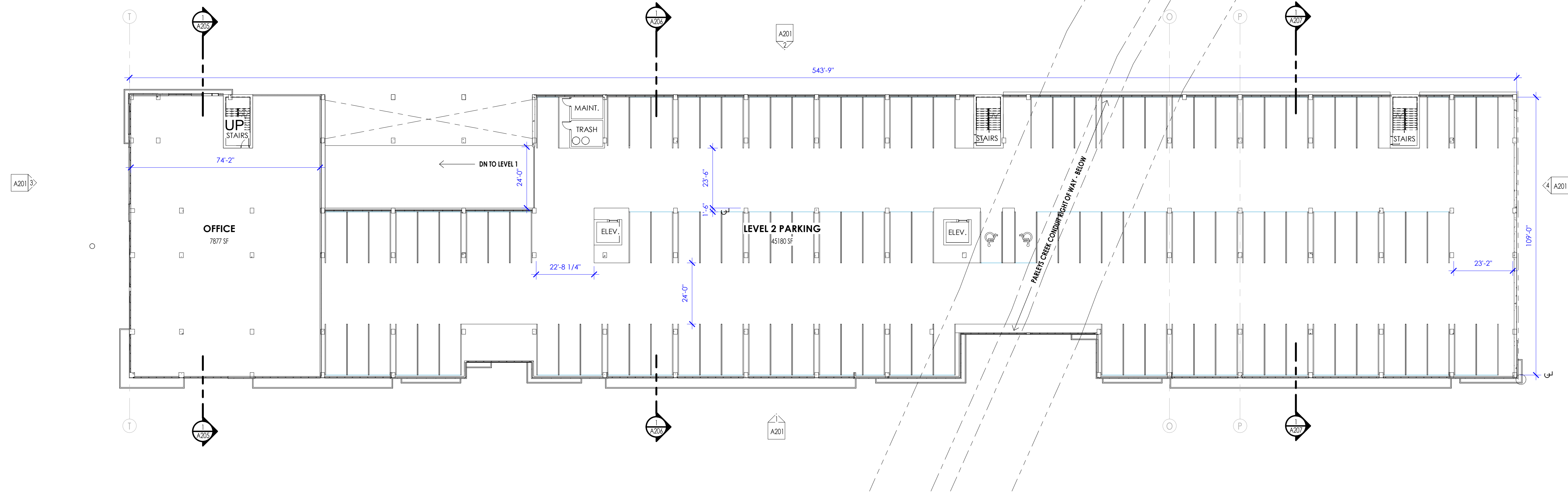
**COACHMAN MIXED USE**  
**MIKE NIKOLS**  
1301 S. STATE ST. SALT LAKE CITY, UT

COPYRIGHT ©  
AE URBIA, LLC.

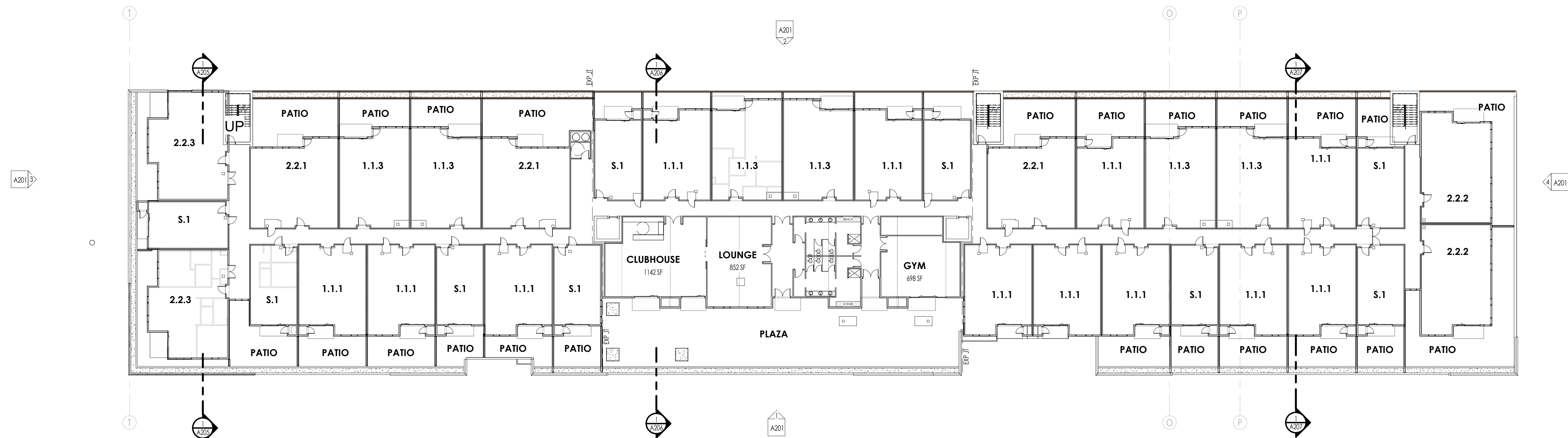
### UNIT MIX

1.1.1	40	34199 SF
1.1.3	18	18051 SF
2.2.1	11	12201 SF
2.2.2	6	6616 SF
2.2.3	6	6867 SF
S.1	27	15065 SF
S.2	4	2614 SF
	112	95612 SF





1 LEVEL 2 FLOOR PLAN  
A102 3/64" = 1'-0"



2 LEVEL 3 FLOOR PLAN  
A102 3/64" = 1'-0"

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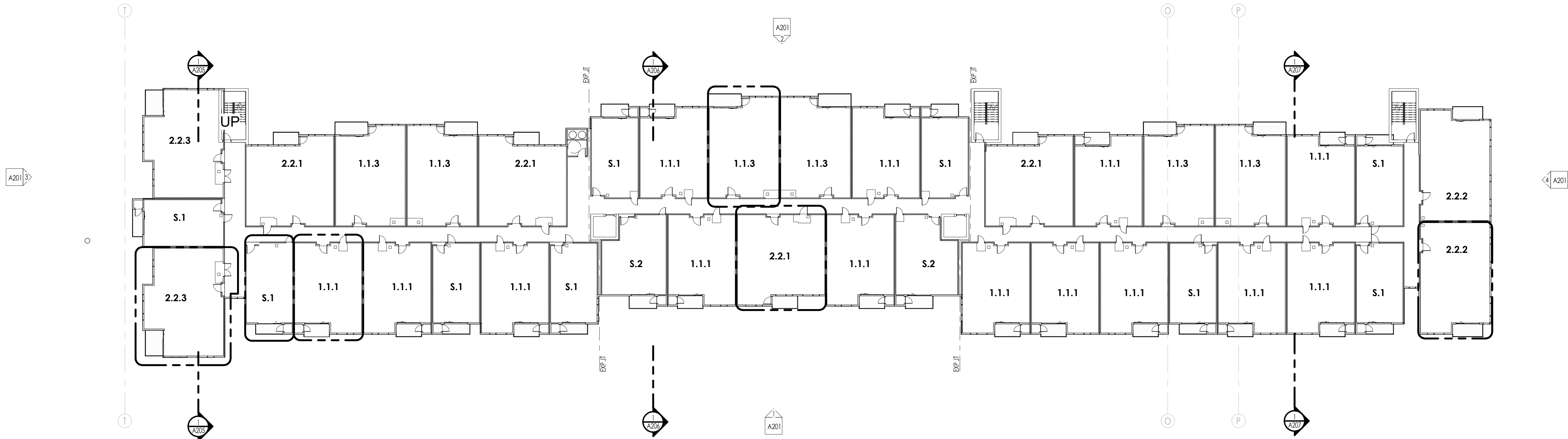
KEYNOTE LEGEND

MARK	REVISION	SCHEDULE	DESCRIPTION	REVISION DATE

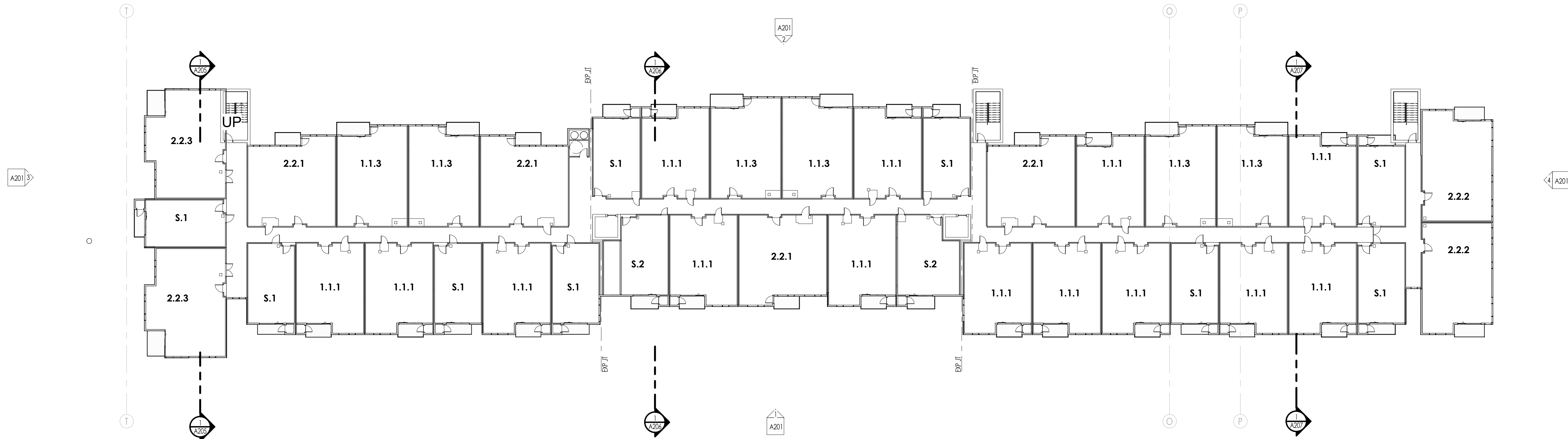
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1 LEVEL 4 FLOOR PLAN  
3/64" = 1'-0"



2 LEVEL 5 FLOOR PLAN  
3/64" = 1'-0"

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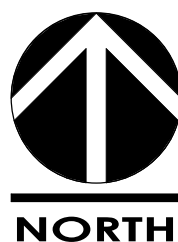
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MARK	REVISION	SCHEDULE	REVISION DATE





1 WEST ELEVATION (STATE ST.)  
A201 3/64" = 1'-0"



2 EAST ELEVATION  
A201 3/64" = 1'-0"



3 NORTH ELEVATION (1300 S.)  
A201 3/64" = 1'-0"



4 SOUTH ELEVATION  
A201 3/64" = 1'-0"

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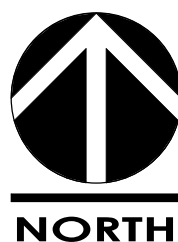
### KEYNOTE LEGEND

03/018	CAST-IN-PLACE CONCRETE WALL - STANDARD CONCRETE FORM EXTERIOR FINISH - TYP. AT EXPOSED EXTERIOR CONCRETE (2 COATS SEALANT)
04/001	EARTH TONE (RED & BROWN) BRICK/THIN BRICK w/ CONT. STEEL UNITEL AT EACH FLOOR LINE - PROVIDE CONTROL/EXPANSION JOINTS AS REQ'D BY MFR. AND AT LOCATIONS WHERE BRICK BRIDGES ACROSS DISSIMILAR MATERIALS
04/002	WHITE/LIGHT GRAY BRICK/THIN BRICK w/ CONT. STEEL UNITEL AT EACH FLOOR LINE - PROVIDE CONTROL/EXPANSION JOINTS AS REQ'D BY MFR. AND AT LOCATIONS WHERE BRICK BRIDGES ACROSS DISSIMILAR MATERIALS
05/001	42" STEEL GUARDRAIL (PAINT OR POWDER COATING) - RAILING SHALL ATTACH TO STRUCTURE AT BASE AND AT TOP RAIL
08/002	PRE-FINISHED ALUMINUM STOREFRONT SYSTEM
08/003	PARKING GARAGE DOOR w/ METAL MESH - SEE DOOR SCHEDULE
08/008	PRE-FINISHED ALUMINUM FRAME w/ COATED METAL MESH AT PARKING GARAGE OPENINGS WHERE INDICATED
09/002	PRE-FINISHED HORIZONTAL METAL SIDING - WHITE/LIGHT GRAY
09/003	PRE-FINISHED VERTICAL METAL PANEL - GOLD/YELLOW
09/004	PRE-FINISHED VERTICAL METAL PANEL - CHOCOLATE/BROWN
09/005	PRE-FINISHED VERTICAL METAL PANEL - TAN/BEIGE
09/006	LIGHT COLORED SYNTHETIC WOOD METAL FASCIA
09/007	DARK COLORED SYNTHETIC WOOD METAL FASCIA
10/006	BUILDING SIGNAGE (REQUIRES SEPARATE PERMIT)

### EXTERIOR MATERIALS LEGEND

	BRICK / THIN BRICK RED / BROWN
	BRICK / THIN BRICK LIGHT GRAY
	METAL PANEL GOLD / YELLOW
	METAL PANEL CHOCOLATE / BROWN
	METAL PANEL TAN / BEIGE
	METAL PANEL LIGHT GRAY
	FASCIA PANEL CHOCOLATE / BROWN
	FASCIA PANEL GOLD / YELLOW
	CONCRETE NATURAL

Revision Schedule	DESCRIPTION	Revision Date
MARK		





EXTERIOR MATERIALS LEGEND

	BRICK / THIN BRICK RED / BROWN
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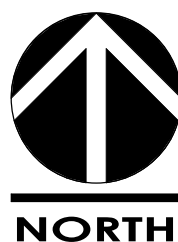
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Revision Schedule	Revision Date
MARK	DESCRIPTION





1  
A203  
AERIAL VIEW - NORTH-WEST



2  
A203  
AERIAL VIEW - SOUTH-EAST

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#### KEYNOTE LEGEND

**aeurbia**  
architects and engineers  
909 West South Jordan Parkway  
South Jordan, Utah 84095  
phone: 801.746.0456 - fax: 801.575.6456  
webpage: aeurbia.com

8/27/2021 1:45:06 PM

**COACHMAN MIXED USE**  
**MIKE NIKOLS**  
1301 S. STATE ST. SALT LAKE CITY, UT

MARK	REVISION	SCHEDULE	DESCRIPTION	REVISION DATE

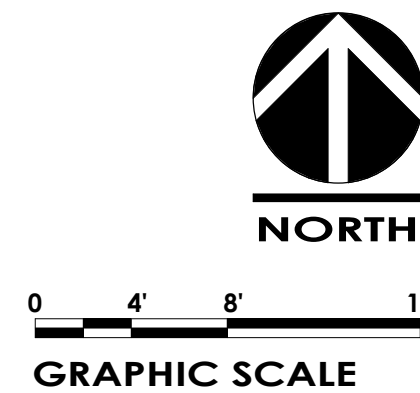
**AE2021.318**  
**OVERALL EXTERIOR VIEW**

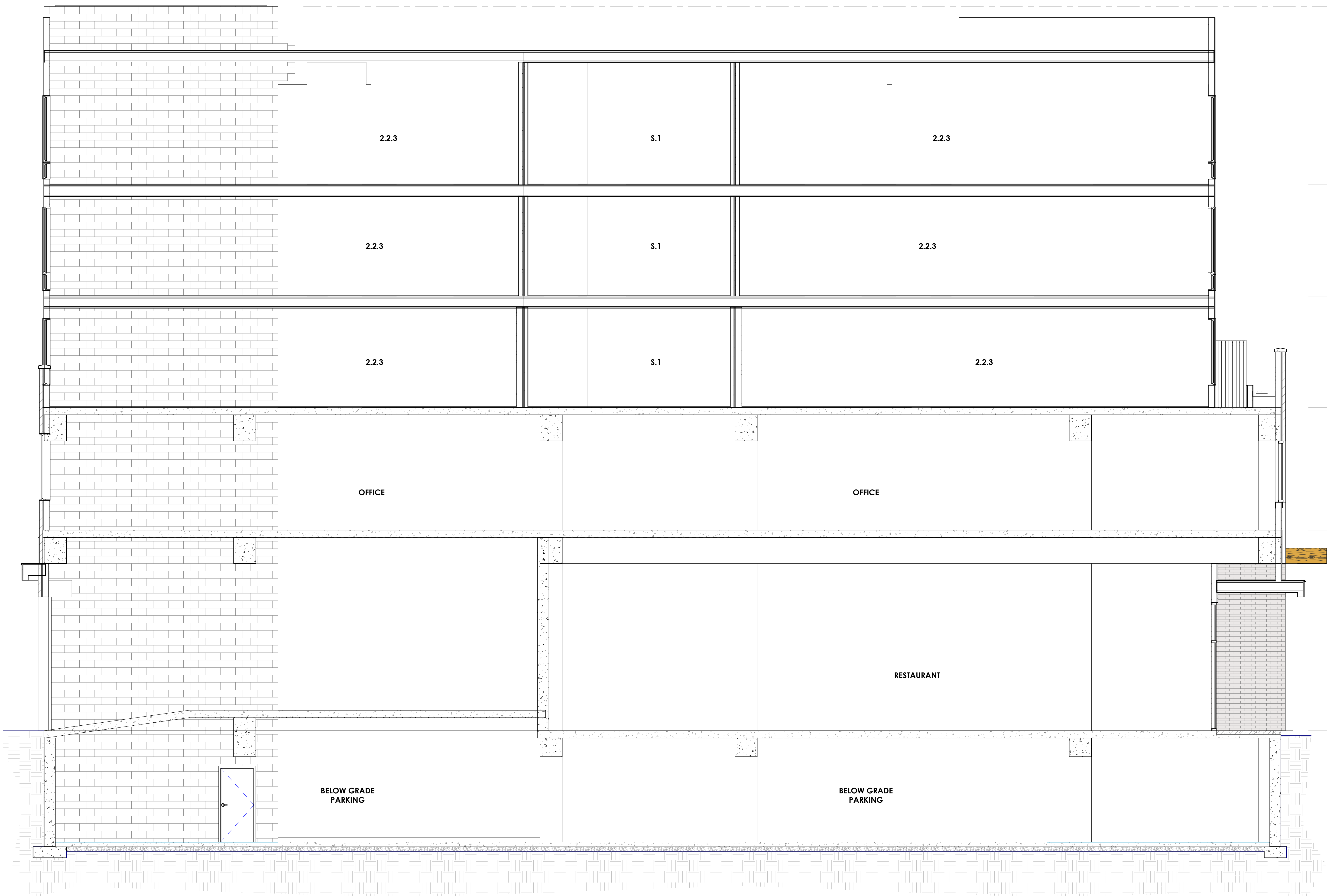
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SHEET #:

**A203**

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1  
A205  
BUILDING SECTION  
1/4" = 1'-0"

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**KEYNOTE LEGEND**



**COACHMAN MIXED USE**  
**MIKE NIKOLS**  
1301 S. STATE ST. SALT LAKE CITY, UT

Revision Schedule	Revision Date
MARK	DESCRIPTION

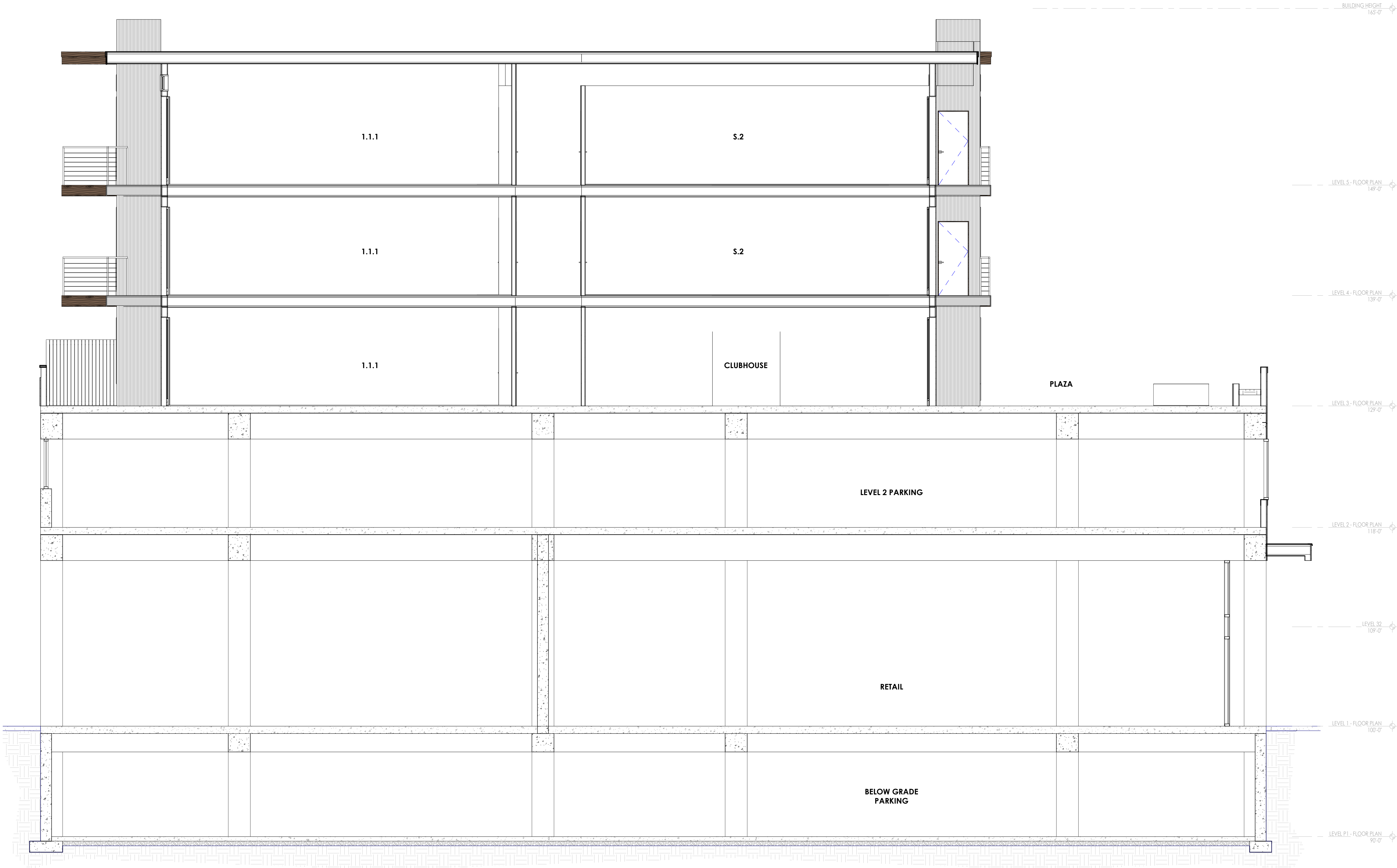
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**A205**

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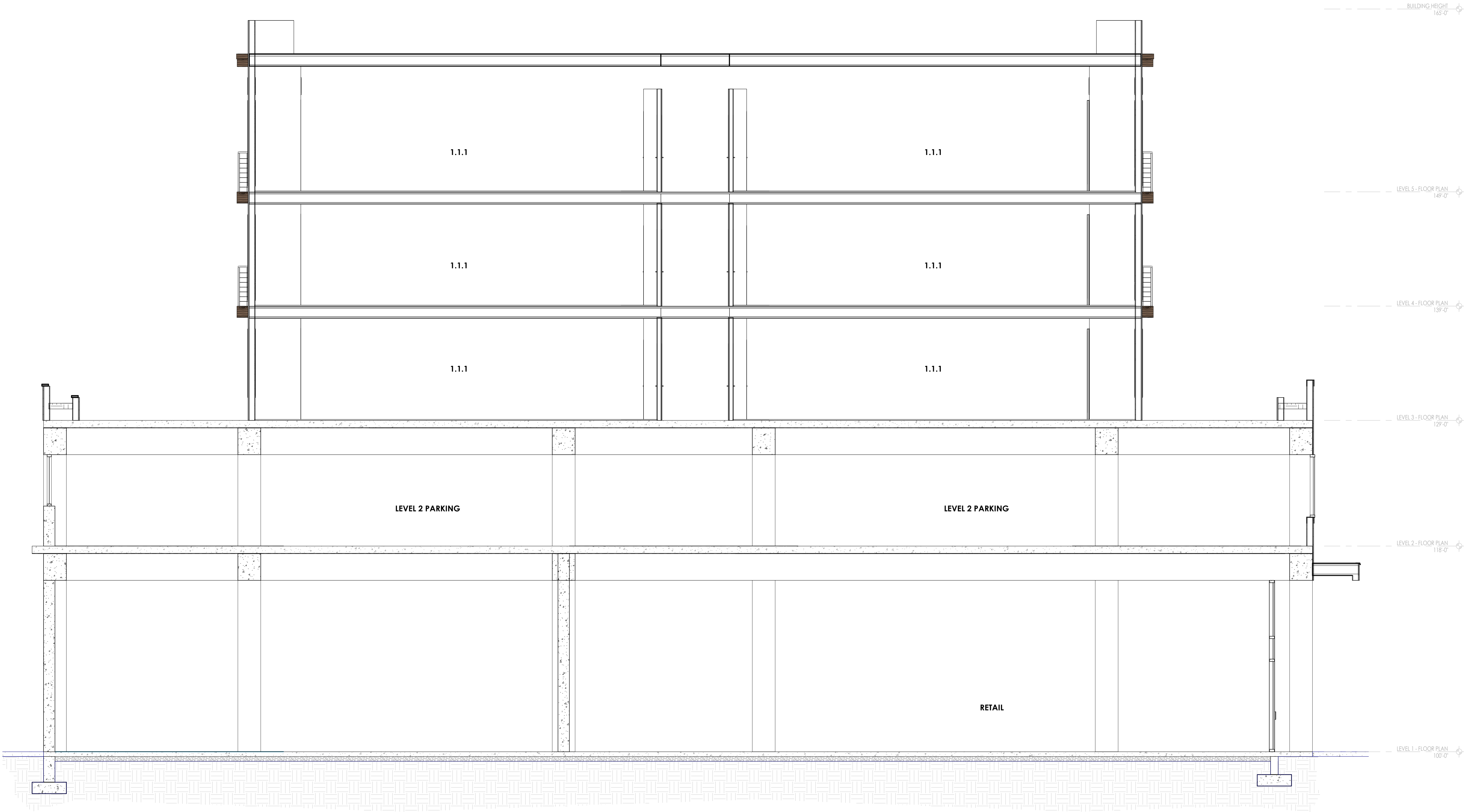


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**KEYNOTE LEGEND**

**BUILDING SECTION**  
1/4" = 1'-0"

MARK	Revision Schedule	Revision Date
	DESCRIPTION	



1  
A207 BUILDING SECTION  
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aeurbia

architects and engineers

909 West South Jordan Parkway  
South Jordan, Utah 84095  
phone: 801.746.0456 • fax: 801.575.6456  
webpage: aeurbia.com

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COACHMAN MIXED USE

MIKE NIKOLS

1301 S. STATE ST. SALT LAKE CITY, UT

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